

14 May 2013

Dear Councillor

**DEVELOPMENT CONTROL COMMITTEE - TUESDAY, 21ST MAY 2013**

Please find enclosed location and layout plans for the planning applications, where applicable, that are to be considered at the above meeting of the Development Control Committee.

**Agenda No    Item**

4.    **Planning applications to be determined**

- a)    13/00168/FUL - Naylor & Walkden Hatton House, 15 Hatton Street, Adlington, Chorley  
(Pages 1 - 6)
  
- b)    13/00156/FULMAJ - The Carrington Centre, New Mill Street, Eccleston (Pages 7 - 20)
  
- c)    12/00643/FUL - Land 170m west of Oak View, Leyland Lane, Ulnes Walton, Lancashire (Pages 21 - 26)
  
- d)    13/00056/FUL - The Legacy Rainbow House, Salt Pit Lane, Mawdesley, Ormskirk  
(Pages 27 - 32)
  
- e)    13/00218/FUL - Rectory Farm, Town Road, Croston, Leyland, PR26 9RA (Pages 33 - 36)
  
- f)    13/00245/REM - Park Road Methodist Church, Park Road, Chorley, PR7 1QN (Pages 37 - 42)
  
- g)    13/00265/FUL - Wheelton House, Brinscall Mill Road, Wheelton (Pages 43 - 48)
  
- h)    13/00266/LBC - Wheelton House, Brinscall Mill Road, Wheelton (Pages 49 - 50)
  
- i)    13/00130/FUL -Home Care Publicity The Courtyard 13 - 17 Anderton Street Chorley PR7 2AY (Pages 51 - 58)

j) 13/00347/FUL - Formerly Multipart Distribution Limited, Pilling Lane, Chorley (Pages 59 - 64)

Yours sincerely



Gary Hall  
Chief Executive

Cathryn Filbin  
Democratic and Member Services Officer  
E-mail: [cathryn.filbin@chorley.gov.uk](mailto:cathryn.filbin@chorley.gov.uk)  
Tel: (01257) 515123  
Fax: (01257) 515150

**Distribution**

1. Agenda and reports to all Members of the Development Control Committee.

If you need this information in a different format, such as larger print or translation, please get in touch on 515151 or [chorley.gov.uk](http://chorley.gov.uk)

**NOTES :**

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**DO NOT SCALE OFF THIS DRAWING.**

All dimensions to be checked on site and any discrepancies to be referred to the architect before proceeding.

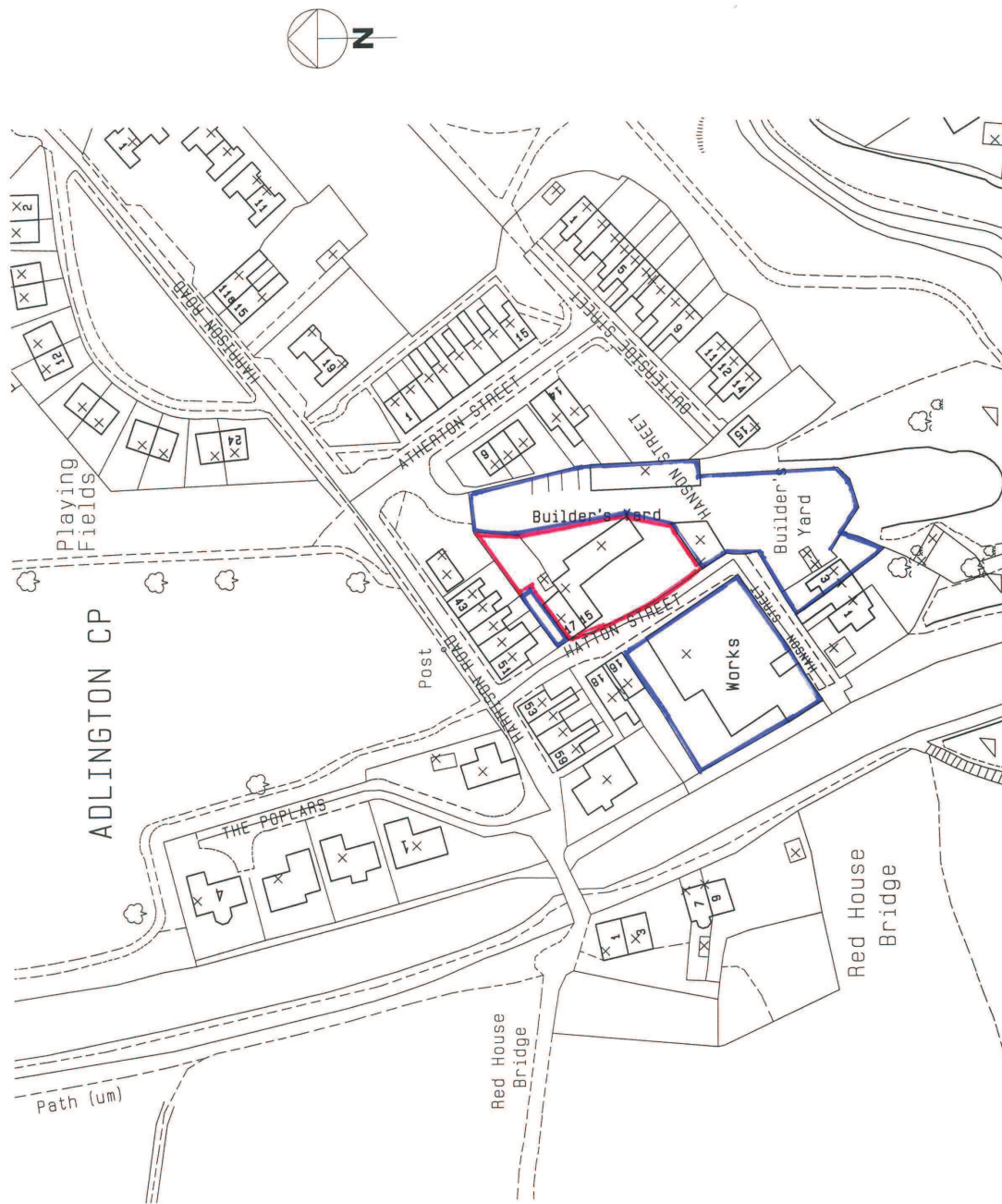
**ALL LEVELS TO BE CHECKED ON SITE.**

All discrepancies between information shown on the drawings and the information in the specification to be referred to the architect prior to proceeding.


All component sizes and references to be checked prior to ordering of materials.

Positions and designation (i.e. combined, surface water or foul) of existing drain runs on site are to be checked / confirmed by the building owner. Any additional connections to be made, are also to be checked as necessary to ensure that they are suitable to accommodate additional capacity and the type of effluent being connected.

All relevant boundary positions to be checked prior to proceeding.



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Rev.	Revision	Inl.	Date
 <p><b>Good &amp; Tillotson Chartered Architects</b>                      2 The Studios,                      18 Chorley Old Road,                      BL1 4JU                      Tel : 01204 497700                      Fax : 01204 497776                      E-mail : info@goodandtillotson.co.uk                      Web : www.goodandtillotson.co.uk</p>			
<p>Client : <b>Shutter Doors Property Services Limited</b></p>			
<p>Project : <b>HUTTON HOUSE PROPOSED "CHANGE OF USE" FROM OFFICES TO "BED AND BREAKFAST" GUEST HOUSE AND PROPRIETORS ACCOMMODATION</b></p>			
<p>Drawing : <b>LOCATION PLAN</b></p>			
<p>Project No. : <b>1301</b></p>			
<p>Drawing Revision : <b>03</b></p>			

<p><b>RIBA</b> Chartered Practise</p>	
Date :	14th February 2010
Drawn :	R.T.H.
Scale :	1 : 1250 @ A3
Drawing Revision :	

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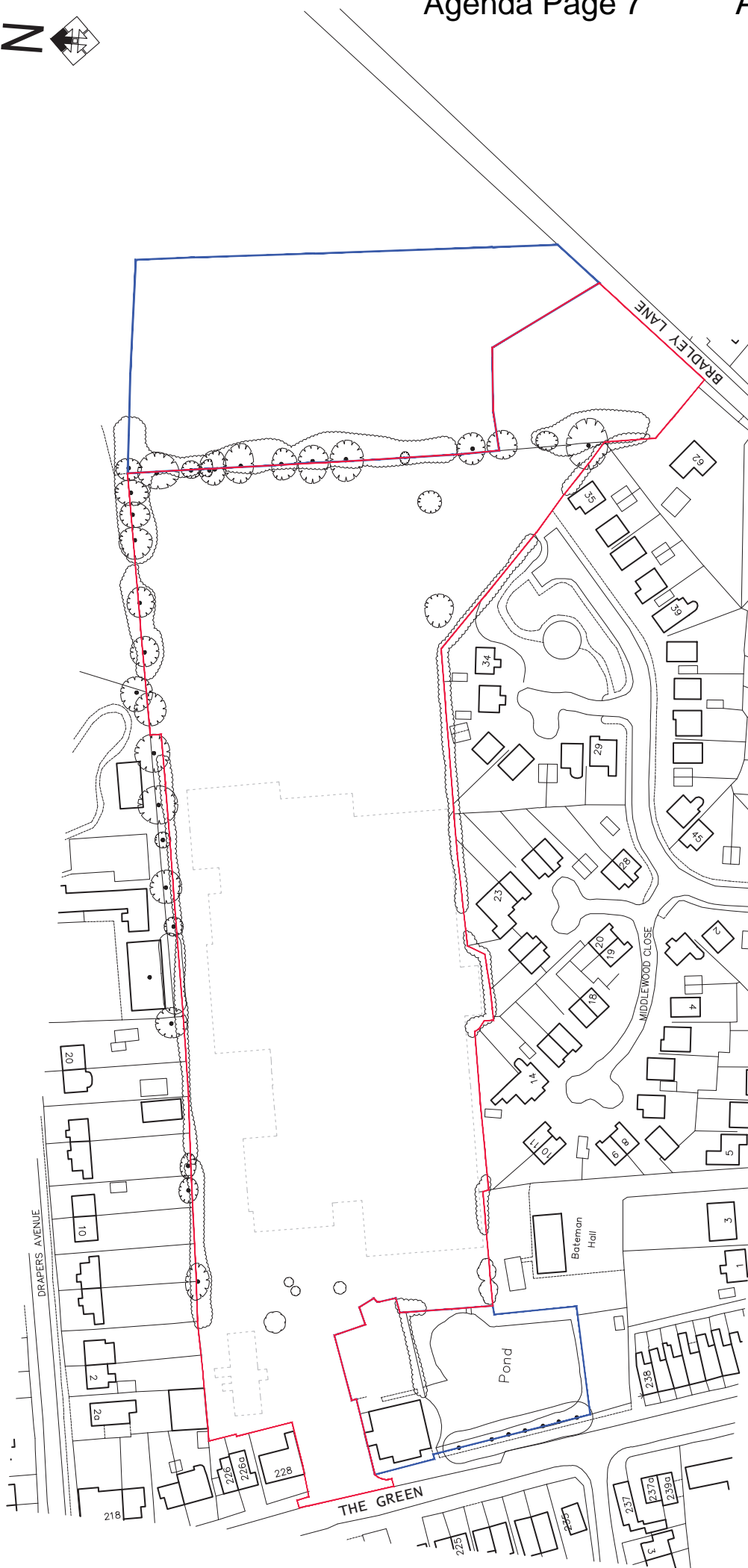




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REVISIONS

— |  
— |

JOB  
THE GREEN  
ECCLESTON

DRAWING  
LOCATION PLAN

DATE: 13.2.2013 DRAWN: SJS SCALE: 1:1250



**BLOOR HOMES NORTH WEST**  
A DIVISION OF BLOOR HOMES LTD,  
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HOLMES CHAPEL, CHESHIRE, CW4 8AA.  
TELEPHONE 01477 536550 FACSIMILE 01477 536551

DRAWING No: TG/E\_LP01

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 15 BLOOR AVENUE, BLOOR, LEICESTERSHIRE LE12 7JG  
 2-4 WHITESIDE BUSINESS PARK, STATION ROAD, HOLMES CHAPPEL, CHESTER, CHW8 8AA  
 TELEPHONE 01773 585811 FAX 01773 585811

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**Key**

GSP01 - SINGLE GARAGE 6x3m  
 GSP02 - DOUBLE GARAGE 6x6m  
 \*ALL INTEGRAL GARAGES MEASURE 6x3m

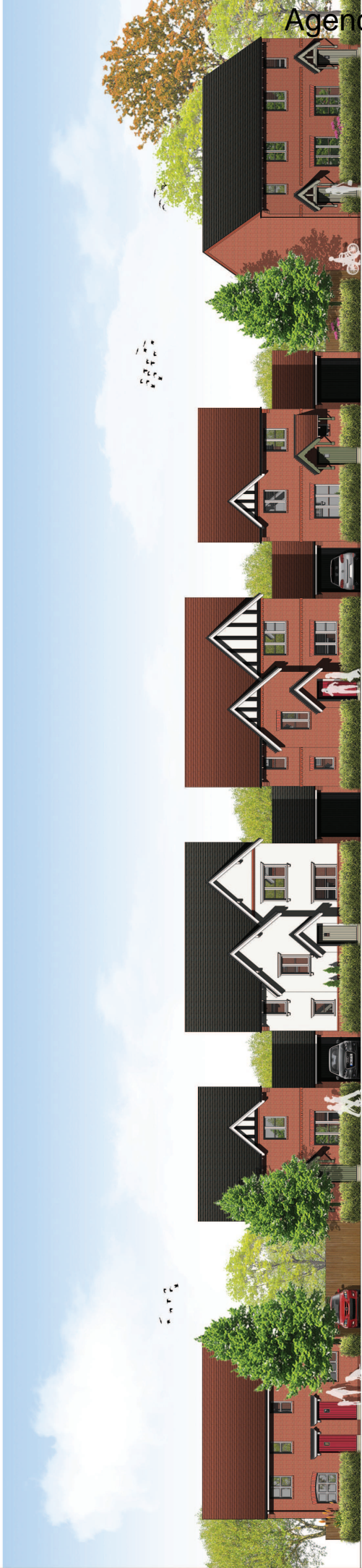
Rendered property  
 Tree to be retained  
 Tree to be removed  
 Denotes shared surface  
 Denotes affordable unit  
 Building to be removed

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REVISIONS


JOB PROPOSED RESIDENTIAL DEVELOPMENT  
 THE GREEN  
 ECCLESTONE  
 DRAWING STREET SCENE  
 PLOTS 11-18

DATE: 14.02.13 DRAWING: SS SCALE: 1:100

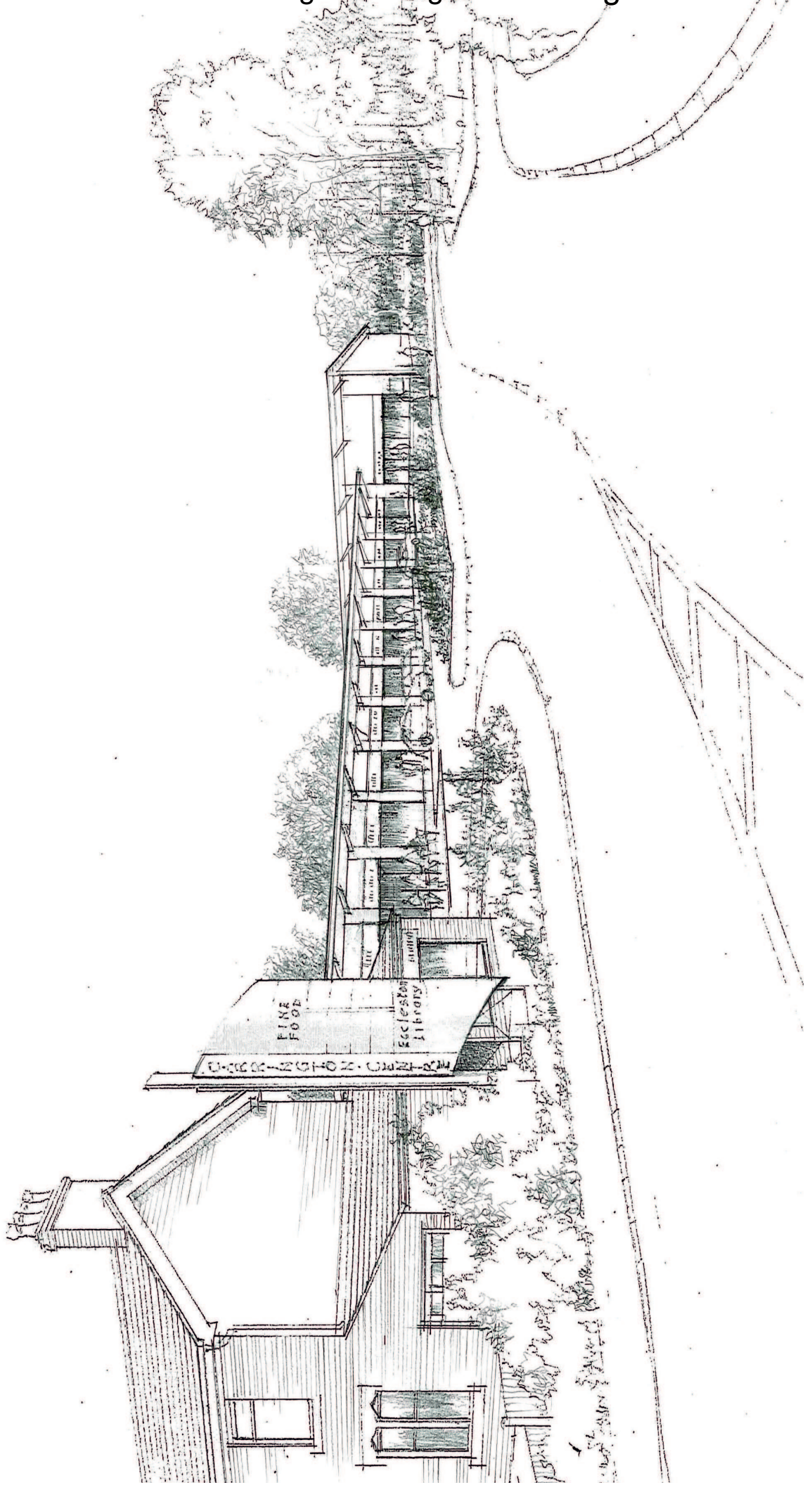
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DRAWING No: TG/E\_SS01

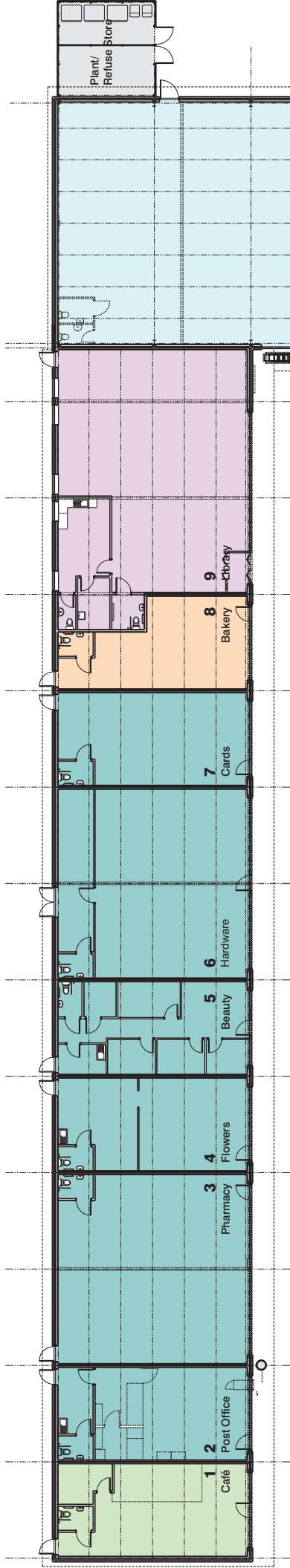
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Floor Plan: 1:250



Site Layout: 1:500



L 02/05/13 Car Park extended rearranged, Cycles, Planning, Sign, Tenants fit-out requirements  
 PLANNING  
 rev date description

status: **PLANNING**

client:



NORTHERN TRUST GROUP  
**The Carrington Centre**  
 Eccleston

drawing title:  
**Local Centre**  
**Site Layout and**  
**Floor Plan**  
**1805-131-L**

drawing no:

scale: 1:500; 1:250 sheet:

date: 18/12/12 by: checked:

Architects & Urban Evolution

paddock johnson partnership  
 Studio 2 The Lyceum, Bath Street, Port Sunlight, Wirral, CH84 4UJ  
 T: 0151 643 1234 E: admin@pjp.co.uk W: www.pjp.co.uk  
 Paddock Johnson Partnership Limited Registered England and Wales No. 08842670 Address as above

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D 02/05/13 Miscellaneous and Tenants: PLANNING  
 rev date description

status: **PLANNING**

client:



**NORTHERN TRUST GROUP**  
**The Carrington Centre**  
 Ecclestone

drawing title: **Local Centre Elevations**

drawing no: **1805-141-D**

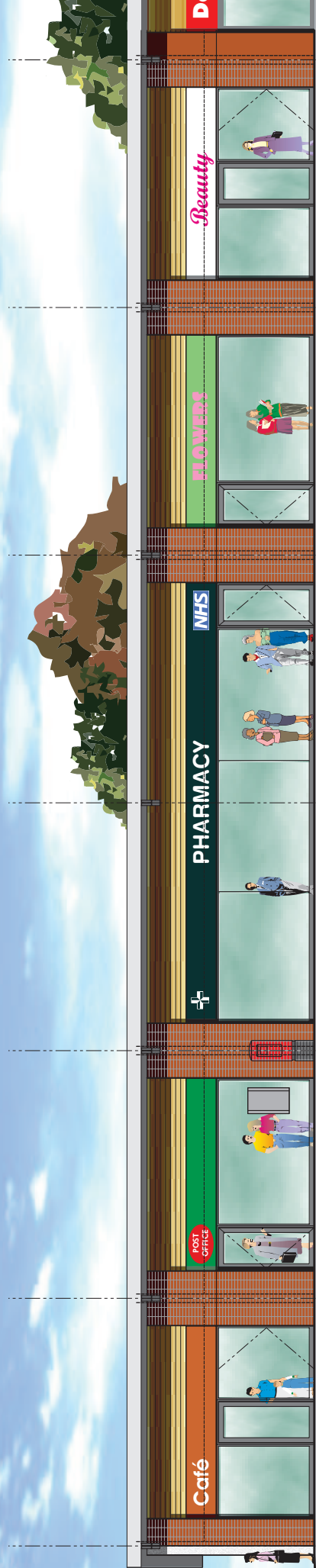
scale: 1:250 sheet: A3

date: 18/12/12 by: PJE checked: PJE



**paddock johnson partnership**  
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 T: 0151 643 1234 E: admin@pjj.co.uk W: www.pjj.co.uk  
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Standing seam/roof sheeting system colour coated mid/ dark grey.

Pressed metal roof and gutter fascias polyester powder coated light grey.

Proprietary kiln treated timber cladding, groove jointing clear preservative stain.

Common red facing brick to general elevations, recessed coloured mortar joints

Rendered gables painted off white.

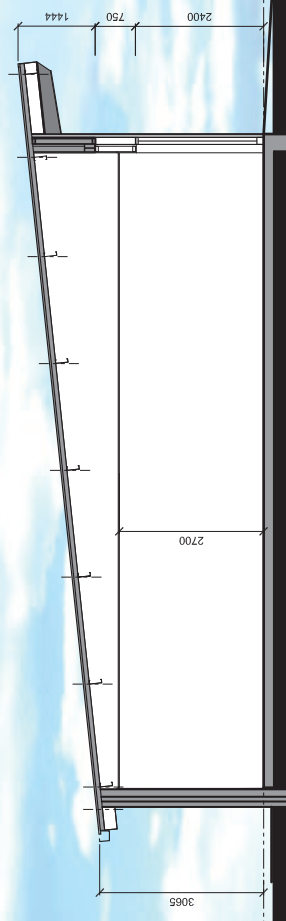
Feature stack bonded smooth uniform red facing brick to shopfront pliers, recessed coloured mortar joints

Extruded aluminium curtain walling/ windows and doors polyester powder coated grey.

Clear glass outer double glazing laminated/ toughened as required.

Extruded aluminium louvres and frame polyester powder coated grey.

Colour coated Palladin screening on steel posts/ refuse/ plant enclosures



D 02/05/13 Miscellaneous and Tenants; PLANNING

rev date description

**PLANNING**

status:

client:



NORTHERN TRUST GROUP

**The Carrington Centre**  
Eccleston

project:

**Local Centre**  
Non-food Units  
Section and part Elevation

drawing title:

**1805-142-D**

drawing no.:

scale: 1:100

sheet: A3

date: 08/01/13

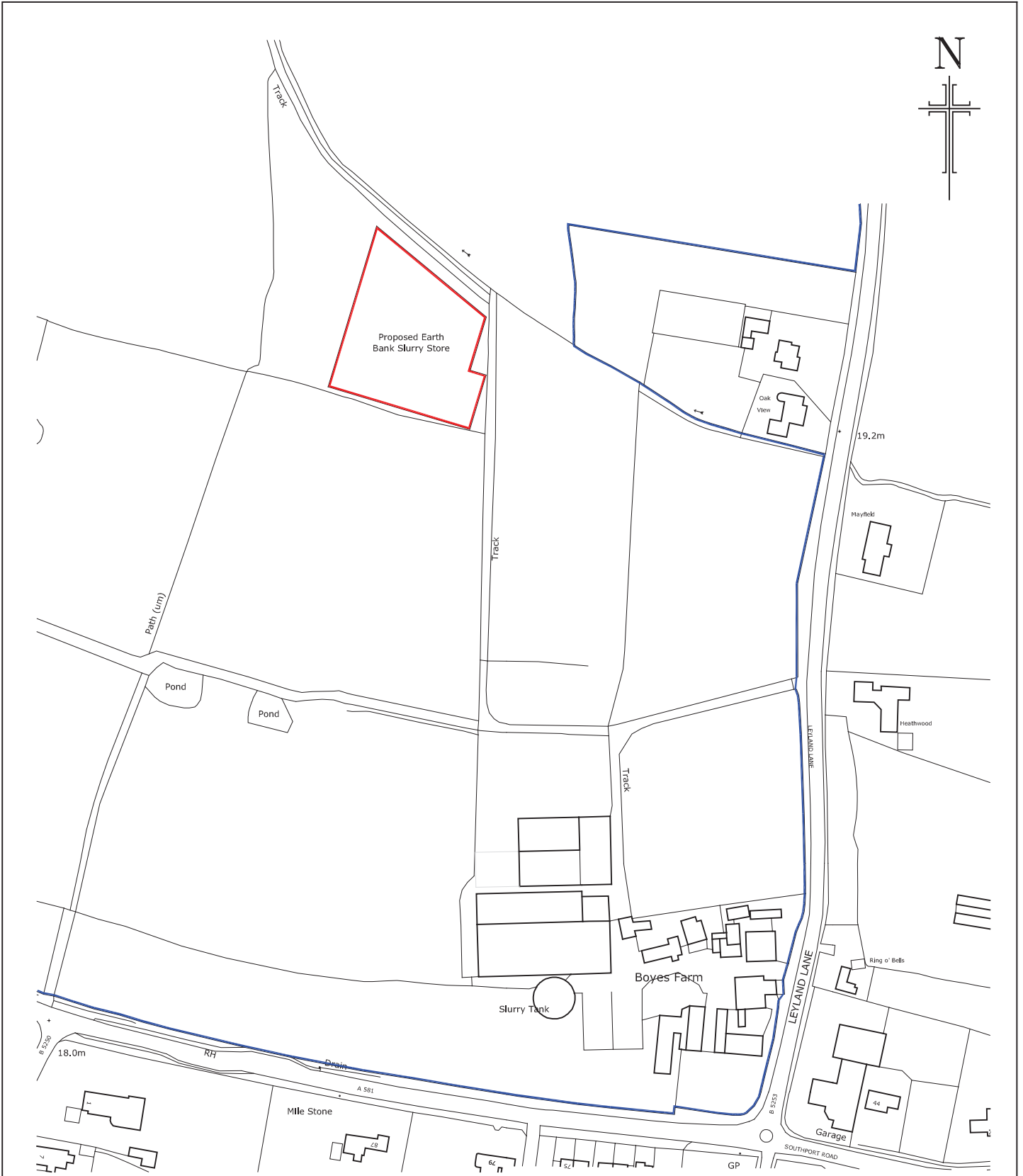
by: PJE

checked: PJE

Architects & Urban Evolution

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 Tel: 01254 260196  
 Email: info@leahough.co.uk  
 Web: www.leahough.co.uk

8 Eaton Avenue  
 Matrix Office Park  
 Buckshaw Village  
 Preston  
 Lancashire  
 PR7 7NA  
 Tel: 01772 458866



DRAWING NUMBER: BS.11-037/01	REV A	DRAWN BY GM	SCALE: 1:2500	PAPER SIZE: A4	DATE: April 2012
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PLAN REFERRED TO:  
 Boyes Farm, Leyland Lane, Ulnes Walton, Leyland PR26 8LB.

Based on the Ordnance Survey with the sanction  
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REV	DESCRIPTION	REVISIONS	DATE	APPROVED
A	Reduced size of proposed slurry store		01-05-12	GM

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 Blakewater Road  
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8 Eaton Avenue  
 Matrix Office Park  
 Buckshaw Village  
 Preston  
 Lancashire  
 PR7 7NA  
 Tel: 01 772 458866  
 Email: info@leahough.co.uk  
 Web: www.leahough.co.uk



CLIENT: Mr. A. Deacon,  
 Boyes' Farm,  
 Leyland Lane,  
 Ulles Walton,  
 Leyland,  
 PR26 8LB

PROJECT ADDRESS:  
 Boyes' Farm,  
 Leyland Lane,  
 Ulles Walton,  
 Leyland,  
 PR26 8LB

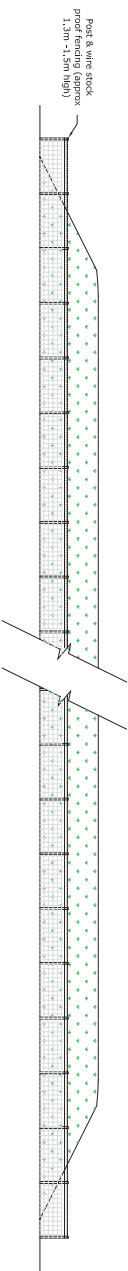
PROJECT TITLE:  
 Proposed New Earth Banked Slurry Store

DRAWING TITLE:  
 Proposed Site Plan

PAPER SIZE: A3  
 DRAWING NUMBER: BS\_11-03702  
 SCALE: 1:1250  
 DATE: April 2012  
 REV: A  
 DRAWN BY: GM



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REV	DESCRIPTION	DATE	APPROVED
A	Reduced size of proposed slurry store	01-05-12	GM

**LeaHough**  
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Survey Valuation Design Planning Sales

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Phoenix Business Park  
Blakeney Road  
Blackburn  
Lancashire  
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Email: info@leahough.co.uk  
Web: www.leahough.co.uk

8 Eaton Avenue  
Marix Office Park  
Buckshaw Village  
Preston  
Lancashire  
PR7 7NA  
Tel: 01772 458866  
Email: info@leahough.co.uk  
Web: www.leahough.co.uk

CLIENT:  
Mr. A. Daeon,  
Boyes Farm,  
Leyland Lane,  
Leyland,  
PR28 8LB

PROJECT ADDRESS:  
Boyes Farm,  
Leyland Lane,  
Leyland,  
PR28 8LB

PROJECT TITLE:  
Proposed Earth Bank Slurry Store

DRAWING TITLE:  
Proposed Plan, Section & Elevation

DESIGNER:  
A2

DATE:  
April 2012

REVISIONS:  
DATE: 01-05-12  
BY: GM

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The Legacy



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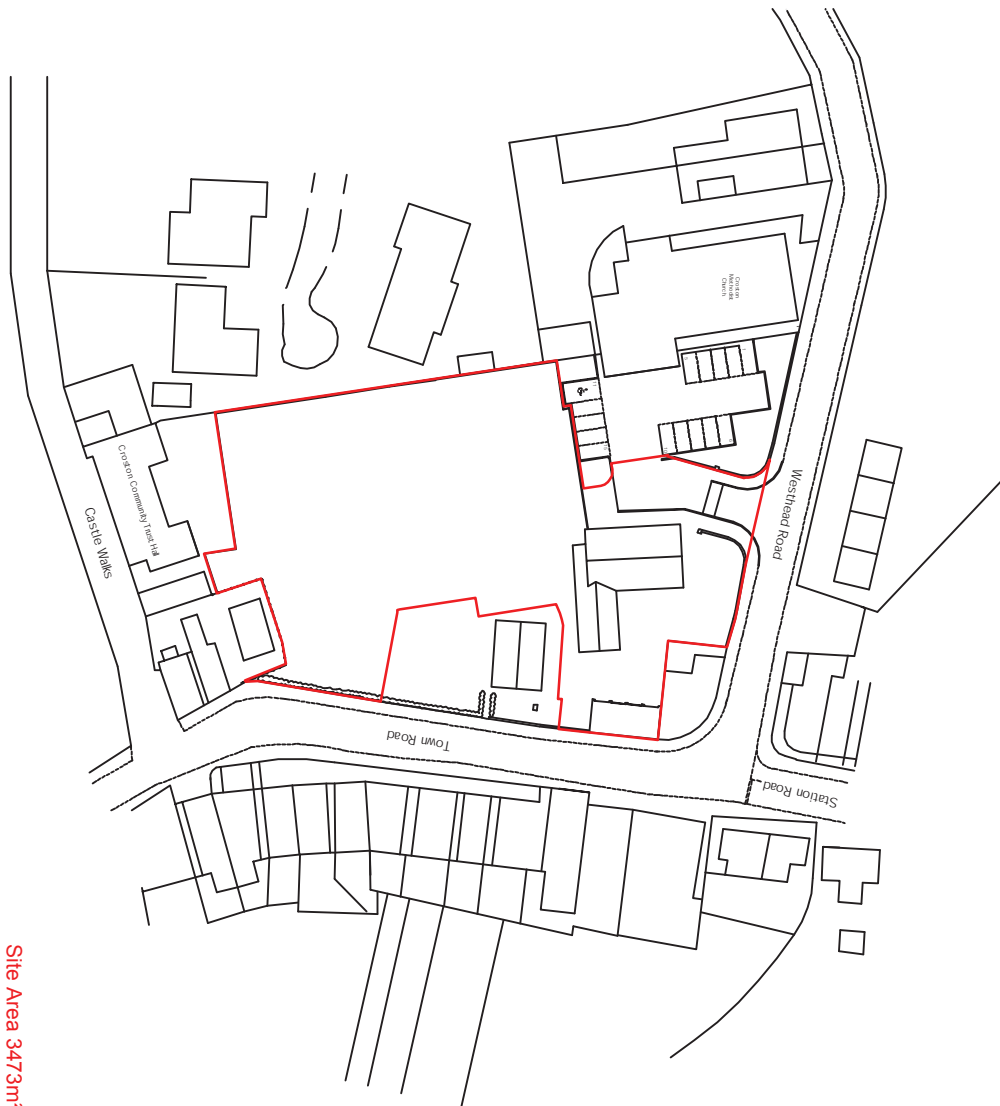


SHORLEY COUNCIL  
CORPORATE SUPPORT SERVICES  
15/01/12  
20 JAN 2013

Client	Project	Drawing Title	Drawing No.	Scale	Revision	Date	Amendments
RAINBOW HOUSE	THE LEGACY SALTPIT LANE MAWDESLEY L40 2QX	PROPOSED PLAN, ELEVATIONS & SECTION	2785-13-23B	1:100 @ A2	R A	15/01/12 15/01/12	Notes added for Planning Amendments following Clients comments.
		<b>Peter Dickinson R.I.B.A.</b> 169 Appley Lane North Appley Bridge Wigan, Lancs Tel No. 01287 262204 Fax No. 01287 255286 E-mail peter@peterdickinson.co.uk					

13/56

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Site Area 3473m<sup>2</sup> (0.347 ha)

The contractor shall comply with the current Building Regulations whether or not specifically stated on these drawings. The contractor shall check and verify all building and site dimensions, levels and sewer invert levels at connection points before work starts. Do not scale measurements. If in doubt- ask. This drawing is copyright and may not be copied or given to a third party without written authority from Cowan and Co.

**Client**  
R.P. TYSON CONSTRUCTION LTD, BLACKPOOL

**Project**  
RE-DEVELOPMENT OF LAND AT RECTORY FARM, CROSTON.

**Drawing Title**  
SITE LOCATION PLAN

**COWAN & CO**  
CHARTERED ARCHITECTS  
CHARTERED BUILDING SURVEYORS



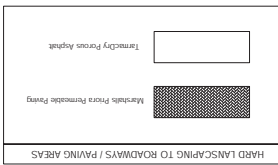
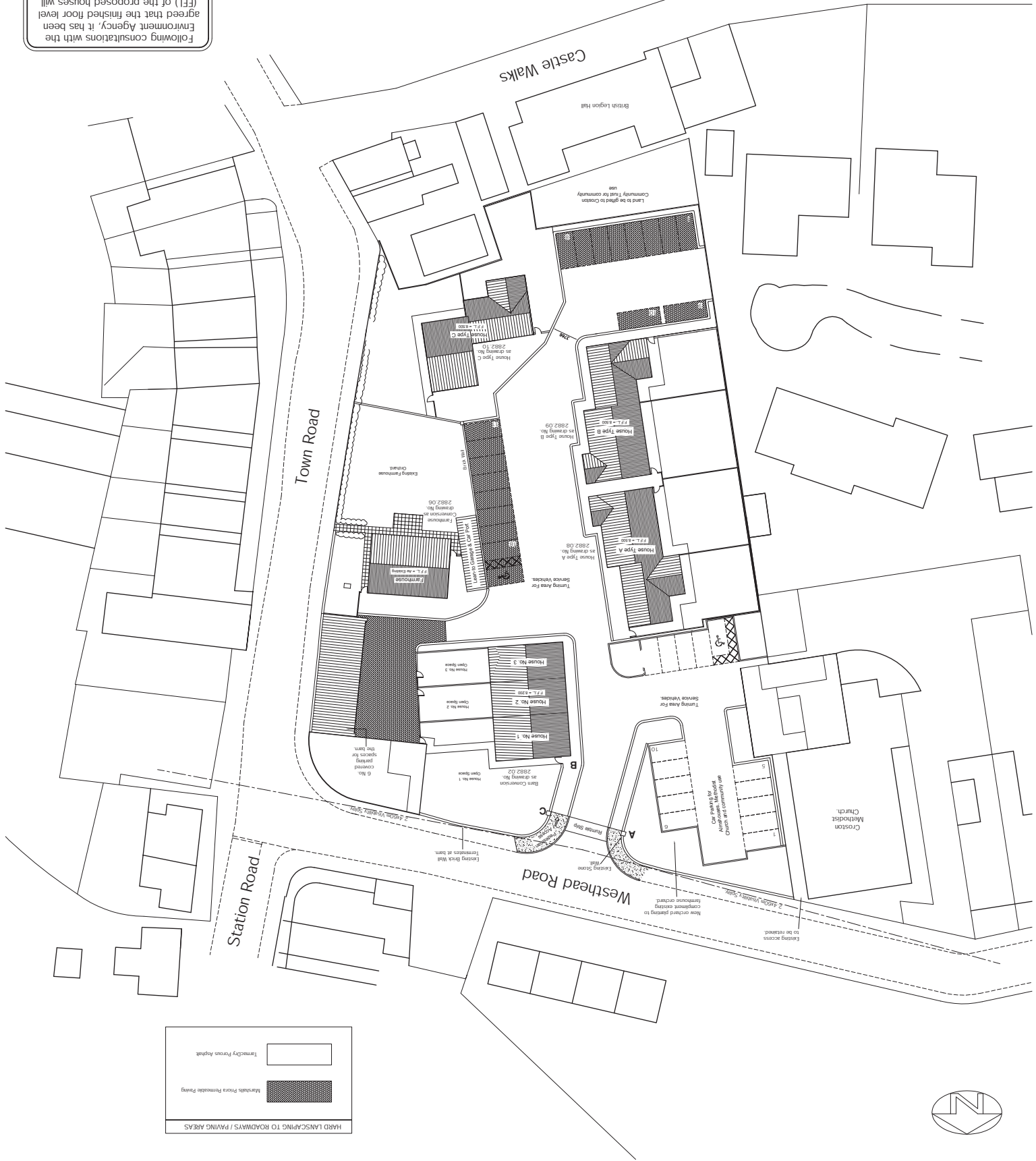
18 Eaton Avenue,  
Matrix Park,  
Euxton, Preston, PR7 7NA.  
Telephone: 01772 425360  
Fax: 01772 425369  
E-mail: admin@cowanandco.com

Scale	1 : 1.250	Drawn by	SE
Date	APR 12	Checked	

Dwg. No.	2882/LP1	Rev.	
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Following consultations with the Environment Agency, it has been agreed that the finished floor level (F.F.L.) of the proposed houses will be no lower than 8.4 metres above Ordnance datum (AOD)



**NOTES**

The Contractor shall comply with the current planning regulations whether or not specifically stated on these drawings.  
 The Contractor shall check and verify all building and site information. They will be liable for any errors or omissions on drawings.  
 Do not scale measurements from drawings.  
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**CDM Regulations - Managing Hazards**  
 Contractors do not need to monitor every hazard or assumption, as the contractor is responsible for the safety of the work. They do need to identify and manage significant risks. They do need to put in place measures to manage these risks. They do need to ensure that the work is planned and managed in a way that minimises the risk to the public.  
 All activities to be carried out in a competent contractor or other designer.  
 (1) The contractor shall ensure that the work is planned and managed in a way that minimises the risk to the public.  
 (2) The contractor shall ensure that the work is planned and managed in a way that minimises the risk to the public.

Date	Revisions	Rev
19.04.12	Proposed floor of slabs to be removed / pavements amended.	C
08.10.12	Proposed finished floor levels added, notes revised & layout amended to suit site survey.	B
06.03.12	Layout amended to suit client requirements.	A

**Client**  
 R.P. Tyson Construction Ltd,  
 1 Micham Road,  
 Blackpool, FY4 4QN.

**Project**  
 RE-DEVELOPMENT OF LAND AT  
 RECTORY FARM, CROSTON.

**Drawing Title**  
 PROPOSED SITE LAYOUT

**COWAN & CO**  
 CHARTERED ARCHITECTS  
 CHARTERED BUILDING SERVICES

18 Easton Avenue,  
 Market Park,  
 Easton, Preston, PR77NA  
 Telephone: 07778 425300  
 E-mail: admin@cowan.co.uk

Scale	1:250	Drawn by	PP
Date	APR 12	Checked	

Dwg No.	2882.01	Rev.	C
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Park Road Methodist Church  
 Park Road  
 Chorley  
 PR7 1QN

OS Mastermap  
 05 March 2013, ID: MDP-00212552  
 www.malcolmhughes.co.uk

1:1250 scale print at A4, Centre: 358355 E, 418084 N

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Mapping sourced from



**MALCOLM HUGHES**  
**LAND SURVEYORS**

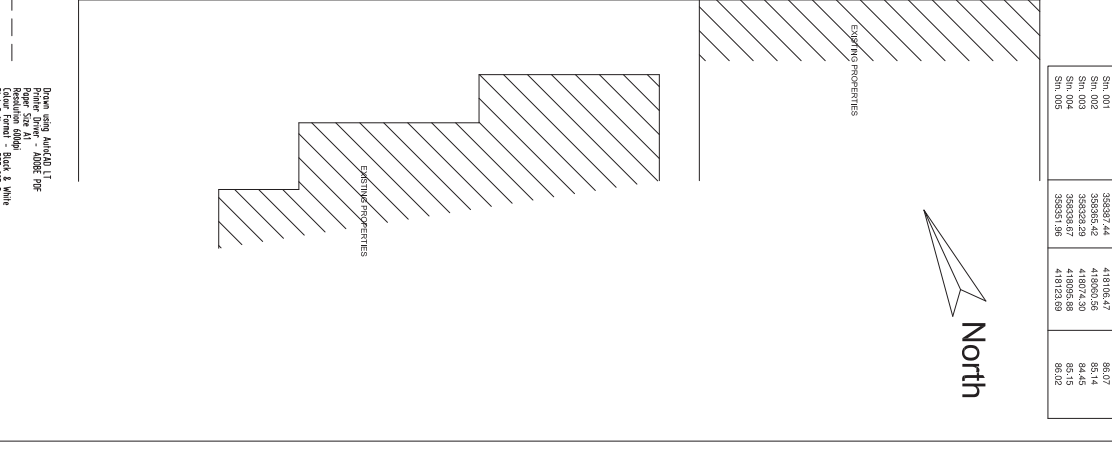
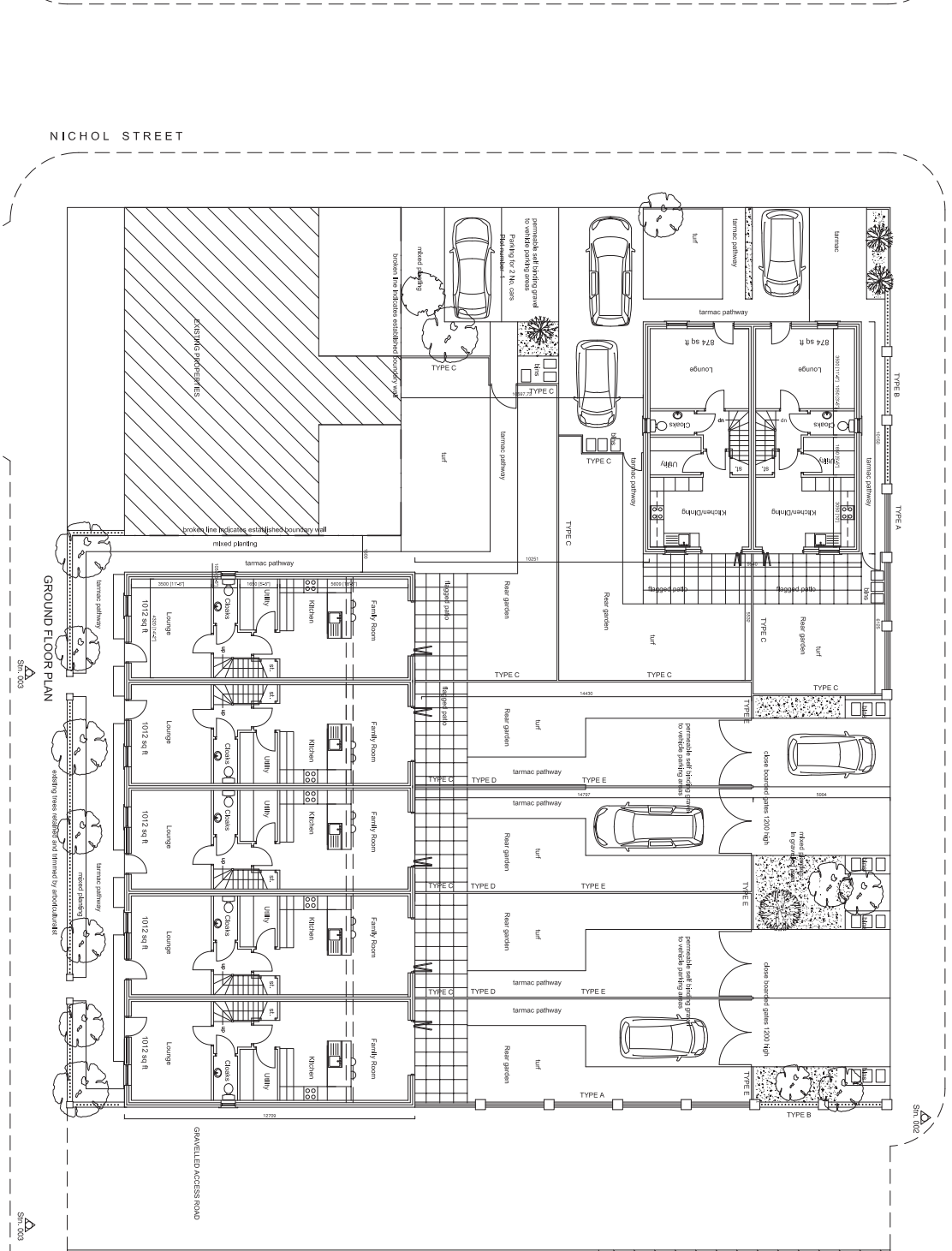
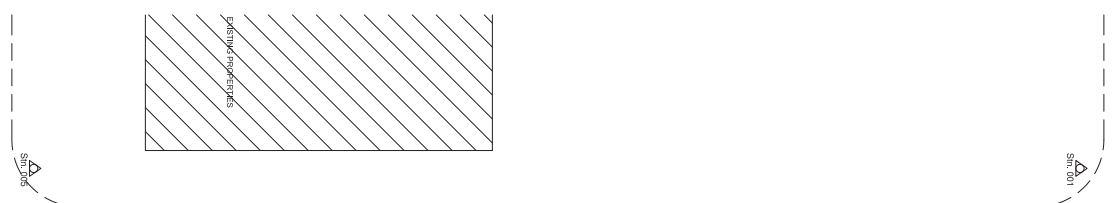
Chartered Land Surveyors

Tel: 0161 926 0650

CHORLEY COUNCIL  
 CORPORATE SUPPORT SERVICES  
 RECEIVED  
 20 MAR 2013  
 FILE  
 CHECKED  
 NAME OF  
 OFFICER TO



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**PLANTING (10 yr. maintenance schedule)**

SPECIE	HABIT/COLOR	CONTAINER SIZE	QUANTITY
1. Acanthus Mollis	Late spring, white	2 litre	20
2. Cornus alba	All year interest	2 litre	12
3. Lavandula angustifolia 'Hidcote'	green, fragrant spikes in summer	2 litre	16
4. Chrysanthemum	Spring, white flowers	2 litre	14
5. Crocosmia lucida	Summer, crimson spikes	2 litre	12
6. Acer chlorostrobilum	Spring, stamens pink change	3 litre	5

Good quality turf generally.

**GROUND FLOOR PLAN**

concrete capping and block over 100mm solid masonry

grey washed vertical boarding on masonry and concrete poles

gabion with masonry over 100mm solid masonry

Scale bar in metres 1:100

A Levels added 25.03.13

**JAMES CARTER HOMES**

Sovereign Court, Wyrefields, Poulton Business Park, F76 8LX  
 Tel: 01253 894949 E-mail: james@jamescarterhomes.co.uk

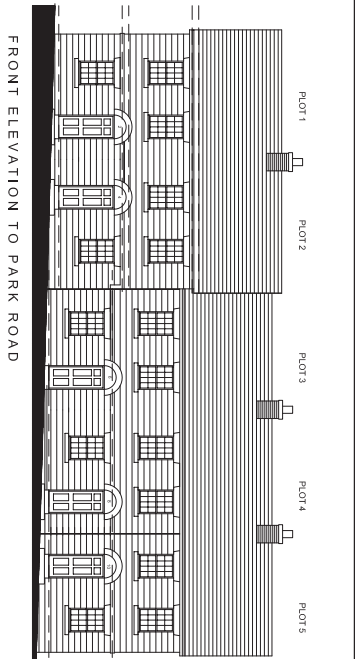
Project: 7 No. 3 Bed Dwellings  
 Channel Green Development  
 Park Road, Chorley  
 PR7 1ON

Date: 06/02/2013  
 Scale: 1:100 @ A1  
 Project number: 0013061\_DS 01  
 Drawn: Steve Newwood

**SURVEY STATIONS**

IDENTITY	EASTING	NORTHING	ELEVATION
Shn. 001	358397.44	418106.47	86.07
Shn. 002	358398.46	418090.56	86.14
Shn. 003	358398.67	418095.88	86.15
Shn. 004	358398.67	418123.69	86.02
Shn. 005	358397.96	418123.69	86.02

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Hardy Portland fibre cement  
 applied to the exterior and fixed  
 to a metal lath and banded mesh at  
 lower level

Dummy chimney stacks in facing  
 brick to match site specification

White PVC fascia and brown  
 rainwater goods

Reddown multi facing brick with  
 reconstituted feature stone inlays, all  
 and string course

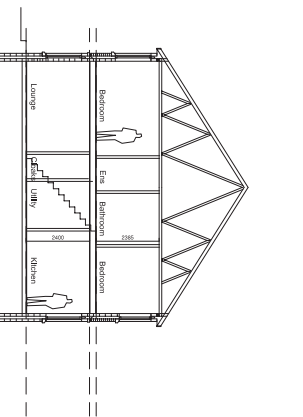
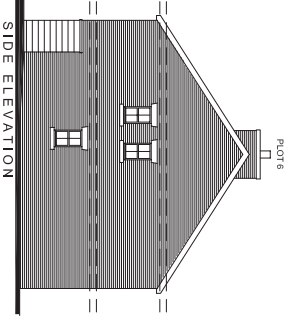
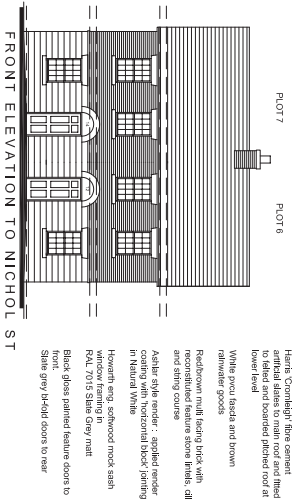
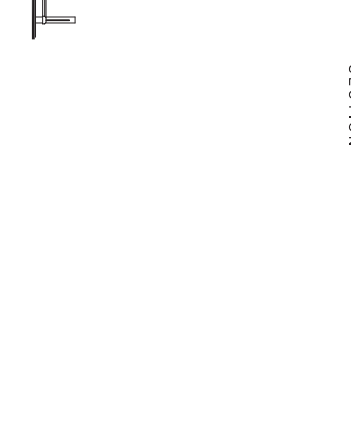
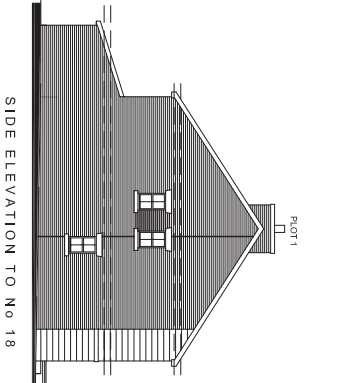
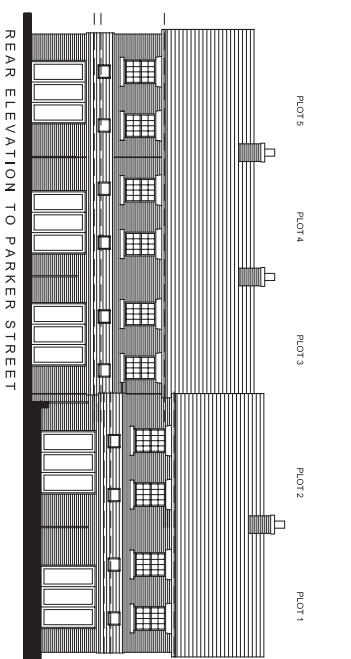
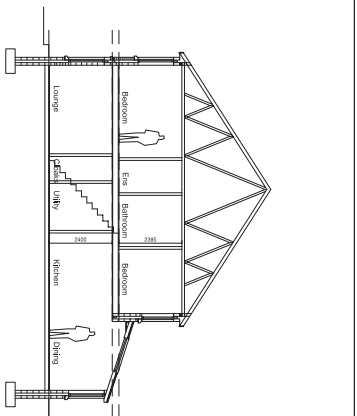
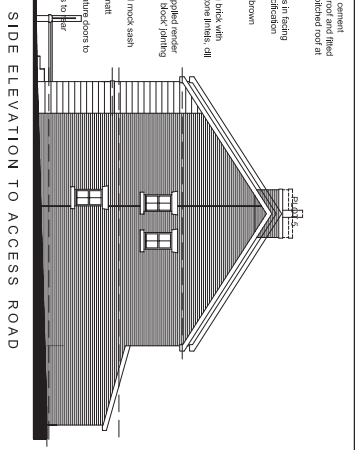
Ashlar style render : applied render  
 coating with horizontal black painting  
 in Natural White

Howarth eng. softwood mock sash

PVC 70/15 Slite Grey matt

Black glass patterned feature doors to  
 match site specification

Slite grey half doors to rear



PLOT 8

PLOT 7

PLOT 6

PLOT 4

PLOT 5

PLOT 4

PLOT 3

PLOT 2

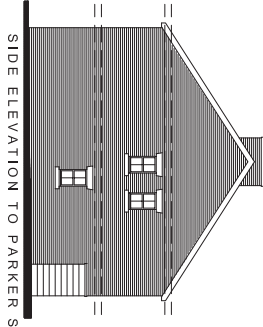
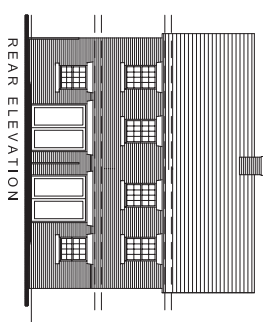
PLOT 1

PLOT 6

PLOT 1

PLOT 7

PLOT 1



Hardy Portland fibre cement  
 applied to the exterior and fixed  
 to a metal lath and banded mesh at  
 lower level

White PVC fascia and brown  
 rainwater goods

Reddown multi facing brick with  
 reconstituted feature stone inlays, all  
 and string course

Ashlar style render : applied render  
 coating with horizontal black painting  
 in Natural White

Howarth eng. softwood mock sash

PVC 70/15 Slite Grey matt

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PVC 70/15 Slite Grey matt

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 match site specification

Slite grey half doors to rear

Bedroom  
 Enr. Bathroom  
 Bedroom  
 Kitchen  
 Utility  
 Bath  
 Lounge

Bedroom  
 Enr. Bathroom  
 Bedroom  
 Kitchen  
 Utility  
 Bath  
 Lounge

Drawn using AutoCAD LT  
 29/04/2013  
 Project: 7 No. 3 Bed Dwellings  
 Paper Size: A1  
 Drawing: 001 - Elevations  
 Client: JAMES CARTER homes  
 Project location: 7 No. 3 Bed Dwellings  
 Project number: 001306/DG 03 A  
 PLOT: 1/01

Scale bar in meters 1 : 80

**ELEVATIONS**

29/04/13  
 25/03/13

B. Revised to planning comments  
 A. Revised to levels

**JAMES CARTER homes**

Sovereign Court, Wyvetlocks, Poulton Business Park, F76 8JX  
 Telephone: 01253 854949  
 Email: admin@jamescarterhomes.co.uk

Project: 7 No. 3 Bed Dwellings  
 Client: Chispaal Green Development  
 Project location: Park Road Chorley  
 Project number: 001306/DG 03 A  
 PLOT: 1/01  
 Date: 06/02/2013  
 Scale: 1:100 @ A1  
 Project number: 001306/DG 03 A  
 Drawn: Steve Norwood

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# WHEELTON HOUSE FARM & BARNES

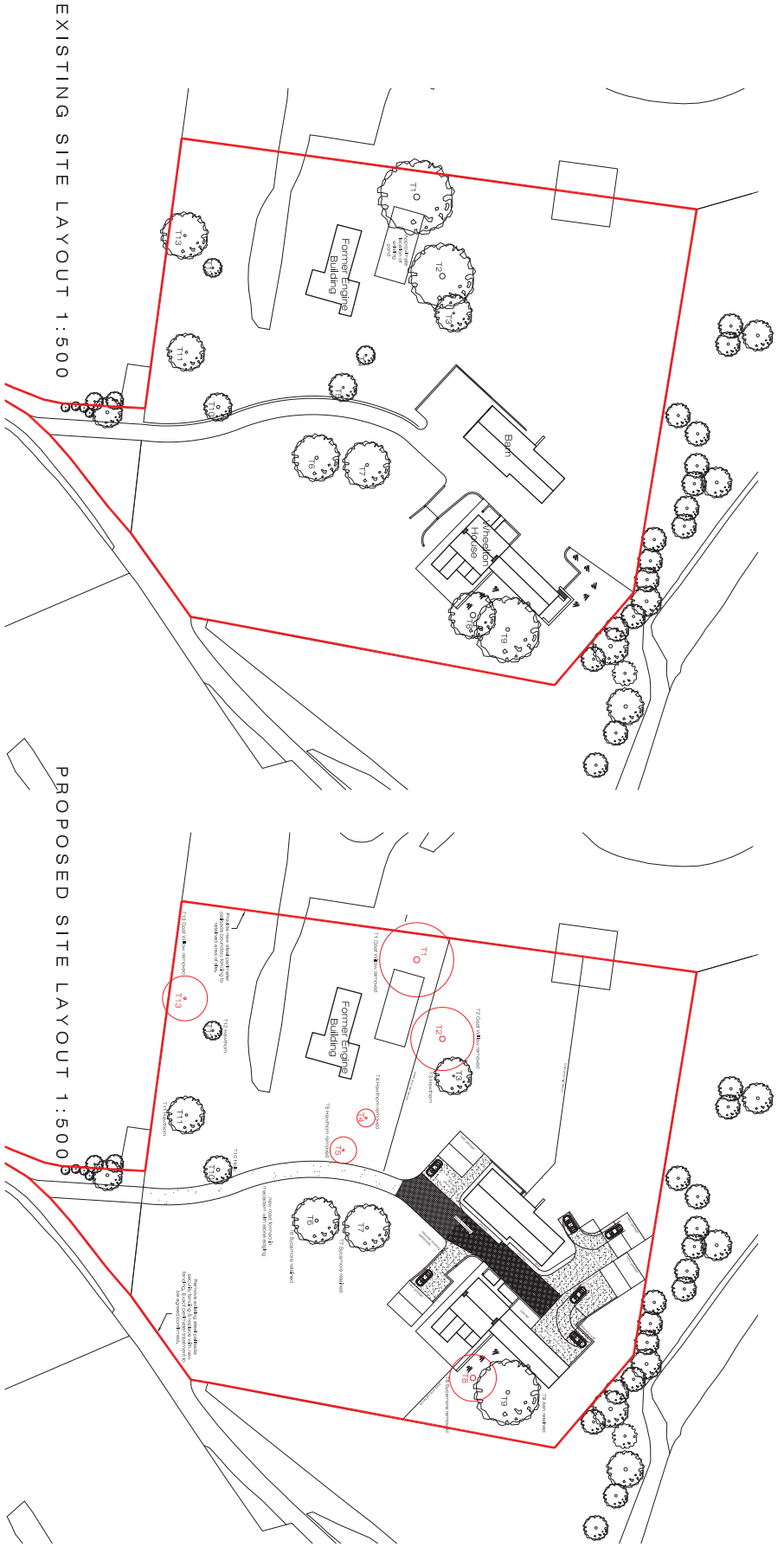


SITE LOCATION PLAN 1:1250

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WHEELTON HOUSE AND BARN



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garage location no./bed	22.03.2013 A
date	no
no	no

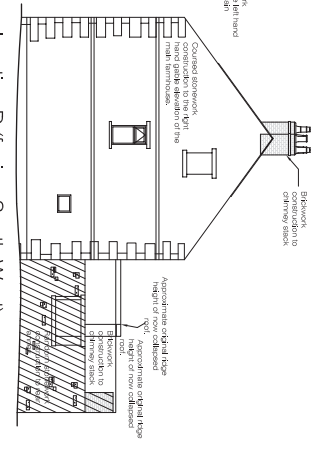
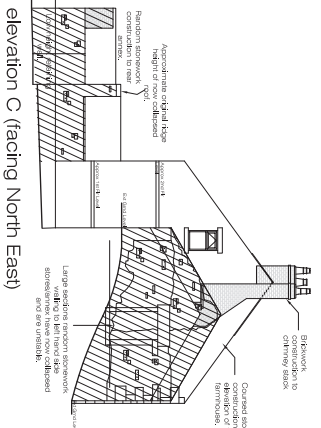
Wheelton House and Barn:  
renovation of existing farm house  
and carriage with conversion of barn  
into a 3 bdr  
Site layout

**ac** architectural consultancy

11772 327898  
a.f.rod@acconsultancy.com  
101772 337868  
PO BOX 101772, WILLOW, B26 1BU

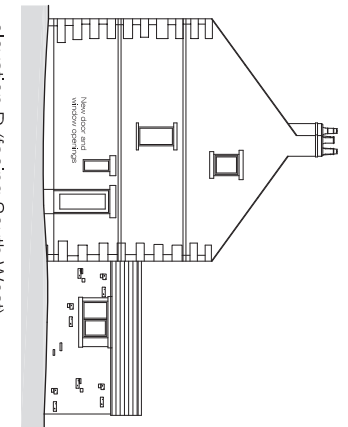
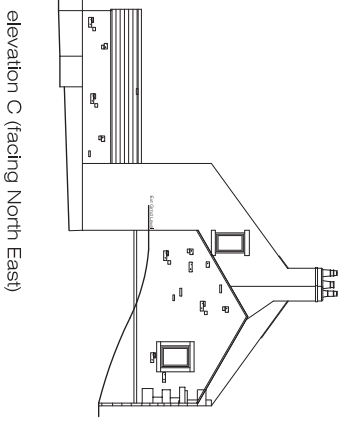
project no. 1301  
stage 01  
rev. A

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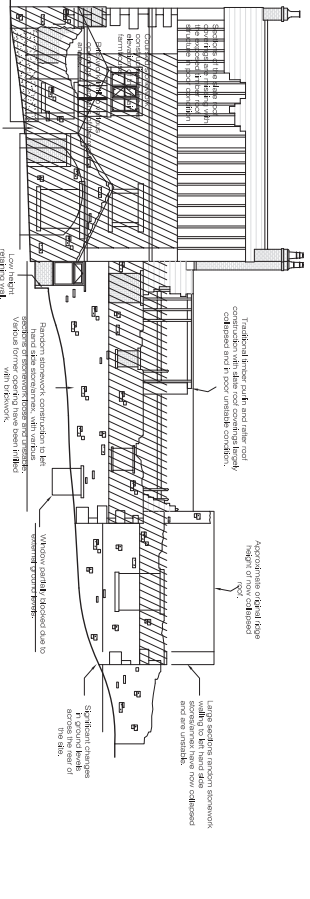
elevation C (facing North East)

elevation D (facing South West)

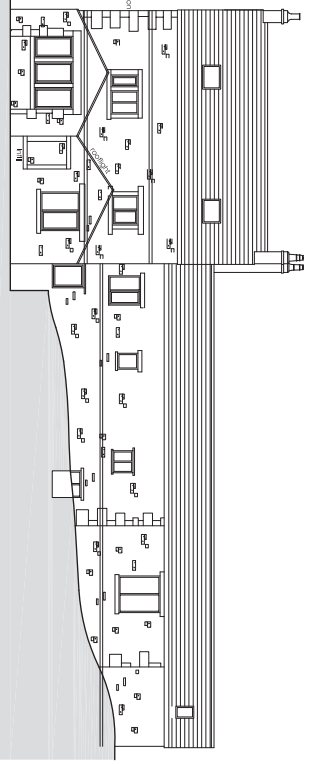


elevation C (facing North East)

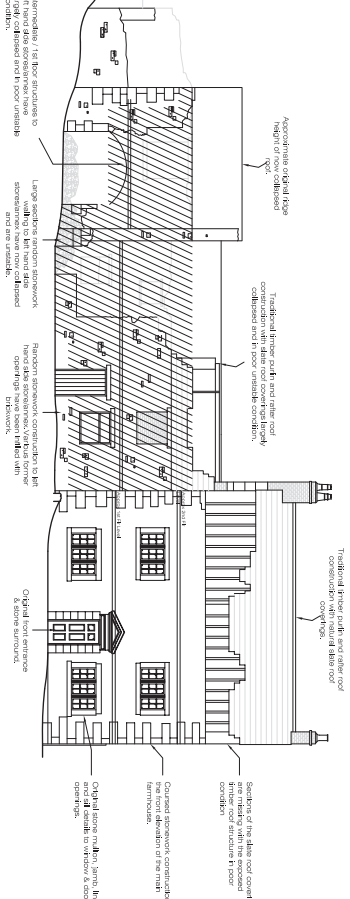
elevation D (facing South West)



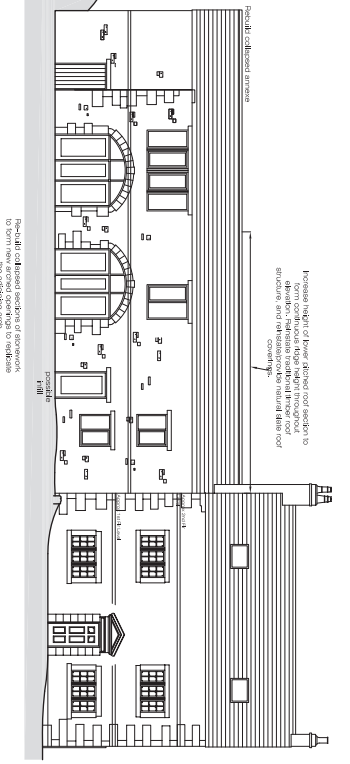
elevation B (facing South East)



elevation B (facing South East)



elevation A (facing North West)



elevation A (facing North West)

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# WHEELTON HOUSE FARM & BARNES



SITE LOCATION PLAN 1:1250

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Tel: 01257 450938  
 Fax: 01257 450939  
 E Mail: David@Warwick-Homes.co.uk

C:\Data\CAD LT 12\Drawings\D234 The Courtyard\Location\081602#2013 18:40

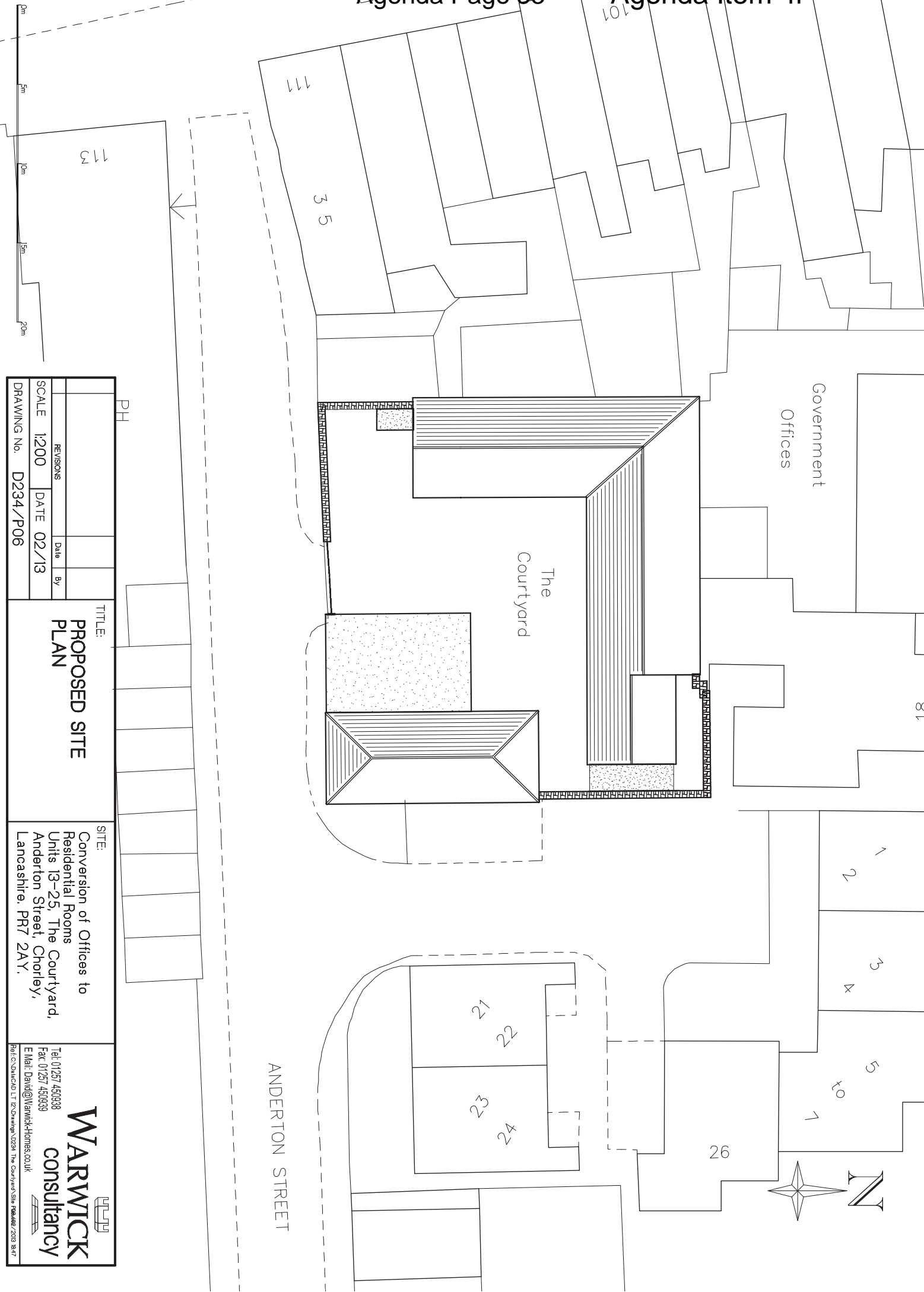
**TITLE:** **LOCATION PLAN**  
 Conversion of Offices to Residential Use  
 Units 19 - 25, The Courtyard, Anderton  
 Street, Chorley, Lancashire. PR7 2AY.

**DRAWING No.**  
 D234/P01

**REVISION:** **SCALE:**  
 1:1250



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PH		TITLE:		SITE:	
REVISIONS		PROPOSED SITE		Conversion of Offices to Residential Rooms	
SCALE	1:200	DATE	02/13	Units 13-25, The Courtyard, Anderton Street, Chorley, Lancashire. PR7 2AY.	 <b>WARWICK</b> consultancy
DRAWING No.	D234/P06	By			
		Date			Tel: 01257 450938 Fax: 01257 450939 E-Mail: David@Warwick-Homes.co.uk

Plot: S:\DWG\04D\_L1\2\Drawing\0234\_The Courtyard Site Plan.dwg, 2013 18:47

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